

# HISTORIC AND DESIGN REVIEW COMMISSION

May 18, 2022

**HDRC CASE NO:** 2022-260  
**ADDRESS:** 255, 259 BRAHAN BLVD; 211, 215 HAYWOOD  
**LEGAL DESCRIPTION:** NCB 3856 (255 BRAHAN {AMENDING}), BLOCK 2 LOT 26 & 27  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Westfort Historic District  
**APPLICANT:** Jose Calzada  
**OWNER:** SUN DEVELOPMENT SERVICES LLC  
**TYPE OF WORK:** Revisions to a previously approved design regarding building setbacks  
**APPLICATION RECEIVED:** April 21, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Edward Hall

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved site plan for the construction of six (6) residential structures in the Westfort Historic District. The applicant is requesting to amend the previously approved setbacks as a response to feedback from various Development Services Department disciplines, including fire, building, civil and traffic review.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

*i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

*ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

*i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

*i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

*ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

*iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

*i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those

predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential

building types are more typically flat and screened by an ornamental parapet wall.

*ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

*i. Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 4. Architectural Details

#### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

*v. Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

### 6. Mechanical Equipment and Roof Appurtenances

## A. LOCATION AND SITING

*i. Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

*ii. Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

## B. SCREENING

*i. Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.

*ii. Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

*iii. Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way. Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

## B. NEW FENCES AND WALLS

*i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

*ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.

New front yard fences or wall should not be introduced within historic districts that have not historically had them.

*iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

*iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining

wall systems, concrete block, vinyl fencing, or chain link fencing.

*v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

### A. PLANTINGS

*i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.

*ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

*iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

*iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

## B. ROCKS OR HARDSCAPE

i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## D. TREES

i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

## 5. Sidewalks, Walkways, Driveways, and Curbing

### A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives.

Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## 7. Off-Street Parking

### A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

## B. DESIGN

*i. Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

*ii. Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

*iii. Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

### *Standard Specifications for Windows in Additions and New Construction*

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

## FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved site plan for the construction of six (6) residential structures in the Westfort Historic District. The applicant is requesting to amend the previously approved setbacks as a response to feedback from various Development Services Department disciplines, including fire, building, civil and traffic review. Additionally, it was determined through the development of a property survey that the alley's current location is encroaching onto the lot.
- b. **PREVIOUS APPROVAL** – The applicant received final approval from the Historic and Design Review Commission on April 7, 2021, with the following stipulations:
  - i. That all siding should feature a four (4) inch exposure, a thickness of ¾", mitered corners (or corner trim) and a smooth finish. Columns should be six inches square. Standing seam metal roofs should feature smooth panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume color.
  - ii. That all wood windows meet staff's standards for windows in new construction, as noted in finding m and in the applicable citations.
  - iii. That all mechanical equipment is screened from view at the public right of way.
  - iv. That a detailed landscaping plan be submitted to OHP staff for review and approval.
- c. **FRONT SETBACK MODIFICATIONS** – The applicant has proposed to amend the previously approved setbacks as follows:
  - Unit C/3 – reduction in setback from Haywood Avenue from 11' – 3" to 10' – 0".
  - Unit C/4 – A reduction in setback from Haywood Avenue from 11' – 3" to 10' – 0".

Previously, the applicant noted that each setback for proposed new construction on Haywood Avenue would feature a setback that is greater than the front setbacks found historically on site. Staff finds that a modification

in front setback for the proposed new construction may be appropriate provided that the front setbacks remain greater than the side setback of the historic structure addressed as 262 Army.

b. REAR/WEST SETBACK MODIFICATIONS – The applicant has proposed to amend the previously approved setbacks as follows:

- Garage Unit C/3 – A decrease in rear setback from 20' to 18'.
- Garage Unit C/4 – A decrease in rear setback from 20' to 18'.

Generally, staff finds the proposed modified rear setback for the two garage units to be appropriate.

d. BUILDING SPACING MODIFICATIONS – The applicant has proposed to amend the previously approved building spacing as follows:

- Garage Unit C/3 and Unit C/4 – An increase in separation from 7' – 11" to 10' – 0".
- Garage Unit C/4 and Unit C/4 – An increase in separation from 7' – 11" to 10' – 0".

Generally, staff finds the proposed increase in building spacing to be appropriate.

## **RECOMMENDATION:**

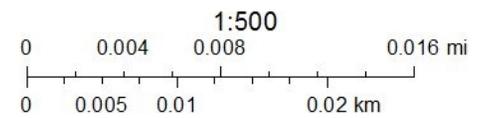
Staff recommends approval of the proposed modifications to the previously approved setbacks and building spacing based on findings a through d with the following stipulations:

- i. That the front setbacks of Units C/3 and C/4 remain greater than the side setback of the primary historic structure addressed as 262 Army.
- ii. That all other stipulations of approval, as noted in finding b, are followed.

# City of San Antonio One Stop



May 12, 2022





ARCHITECTURA SA  
ARCHITECTURE W INTERIOR DESIGN W CONSULTANTS  
17038 Redland Rd. Suite 101  
San Antonio, Texas 78247  
t 210 . 384 . 8200  
t 866 . 583 . 0968  
f 210 . 319 . 3555

May 2, 2022

To: City Of San Antonio  
Development Services Department  
Plans and Permits Section  
1901 S. Alamo St.  
San Antonio, TX 78204

Project: 255 Brahan Residential Units- Site Work  
Location: 255 Brahan, San Antonio, TX 78215  
AP No: COM-PRJ-APP22-39801107

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Development Services,

In regards to the Site Work Only Permit application currently pending for 255 Brahan Residential Units, it is requested for deferment of irrigation and landscape under Permit # COM-PRJ-APP22-39801107. This letter was prepared in response to Rosa Garcia who performed the landscape and irrigation review for this permit applicaiton.

Respectfully,

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Jose Calzada, A.I.A.  
Architectura SA, Inc.

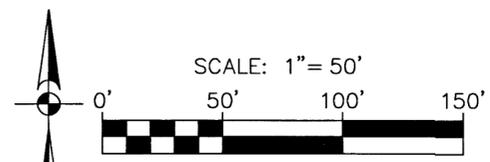


255 BRAHAN  
Civil Job No. 11127-00; Survey Job No. 11127-00

# PLAT NUMBER 170135

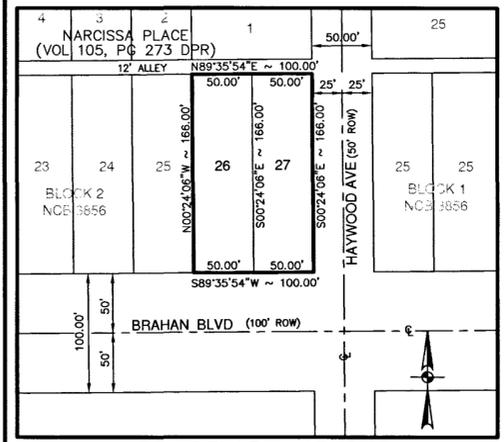
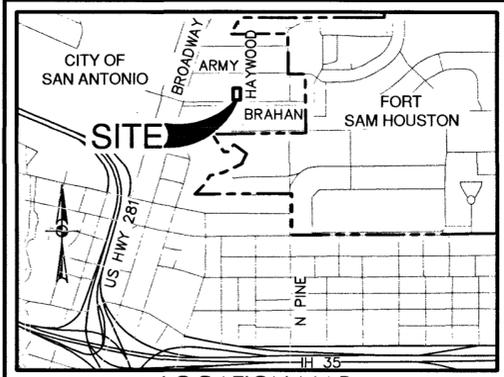
## AMENDING PLAT OF 255 BRAHAN

THIS PLAT AMENDS LOT 26 & 27, BLOCK 2, NEW CITY BLOCK 3856 OF THE NARCISSA PLACE SUBDIVISION, CITY OF ANTONIO, TEXAS PREVIOUSLY RECORDED IN VOLUME 105, PAGE 273 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS  
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: January 24, 2017



AREA BEING AMENDED  
SCALE: 1" = 100'

0.381 OF AN ACRE BEING AMENDED WAS PREVIOUSLY PLATTED AS LOT 26 & 27, BLOCK 2, NEW CITY BLOCK 3856 OF THE NARCISSA PLACE SUBDIVISION, CITY OF ANTONIO, TEXAS PREVIOUSLY RECORDED IN VOLUME 105, PAGE 273 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

### REASON FOR AMENDING:

- SECTION 35-441 (a)(9): TO RELOCATE ONE (1) OR MORE LOT LINES BETWEEN ONE (1) OR MORE ADJACENT LOTS IF:
  - (A) THE OWNERS OF ALL THOSE LOTS JOIN IN THE APPLICATION FOR AMENDING THE PLAT;
  - (B) THE AMENDMENT DOES NOT ATTEMPT TO REMOVE RECORDED COVENANTS OR RESTRICTIONS;
  - (C) THE AMENDMENT DOES NOT INCREASE THE NUMBER OF LOTS;

### AMENDMENTS ARE AS FOLLOWS:

- THE LOCATION AND DISTANCE OF THE LOT LINE BETWEEN LOT 26 & 27, BLOCK 2, NCB 3856 CHANGED FROM S00°24'06"E-166.00' TO S00°24'06"E-68.03', N89°35'54"E-4.67' AND S00°24'06"E-97.97'.
- THE REAR LOT LINE DISTANCE CHANGED FROM 50.00' TO 40.00' FOR LOT 26 AND 50.00' TO 60.00' FOR LOT 27, BLOCK 2, NCB 3856.
- THE FRONT LOT LINE DISTANCE CHANGED FROM 50.00' TO 44.67' FOR LOT 26 AND 50.00' TO 55.33' FOR LOT 27, BLOCK 2, NCB 3856.
- ADD 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT ALONG THE RIGHT OF WAYS.

**SURVEYOR'S NOTES:**

- PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

*Cara C. Tackett*  
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

*G.E. Buchanan*  
REGISTERED PROFESSIONAL LAND SURVEYOR

**C.P.S. NOTES:**

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHEAD EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREOF. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR OR UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERBRANCHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

**WASTEWATER EDU NOTE:**

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

- LEGEND**
- CB COUNTY BLOCK
  - NCB NEW COUNTY BLOCK
  - DPR DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
  - ESMT EASEMENT
  - PG PAGE(S)
  - ROW RIGHT-OF-WAY
  - OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
  - VOL VOLUME
  - SET 1/2" IRON ROD (PD)
  - - - 860 - - - EXISTING CONTOURS
  - - - 860 - - - PROPOSED CONTOURS
  - - - - - CITY LIMIT LINE
  - Ⓢ 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT

**PRESSURE REDUCING VALVE NOTE:**

CONTRACTOR TO VERIFY THAT NO PORTION OF THE TRACT IS BELOW GROUND ELEVATION OF 745 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS BELOW 745 FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO. NO DUAL SERVICES ALLOWED FOR ANY LOT(S) IF \*PRV IS/ARE REQUIRED FOR SUCH LOT(S). ONLY SINGLE SERVICE CONNECTIONS SHALL BE ALLOWED. \*NOTE: A PRESSURE REGULATOR IS ALSO KNOWN AS A PRESSURE REDUCING VALVE (PRV).

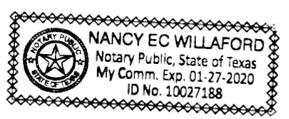
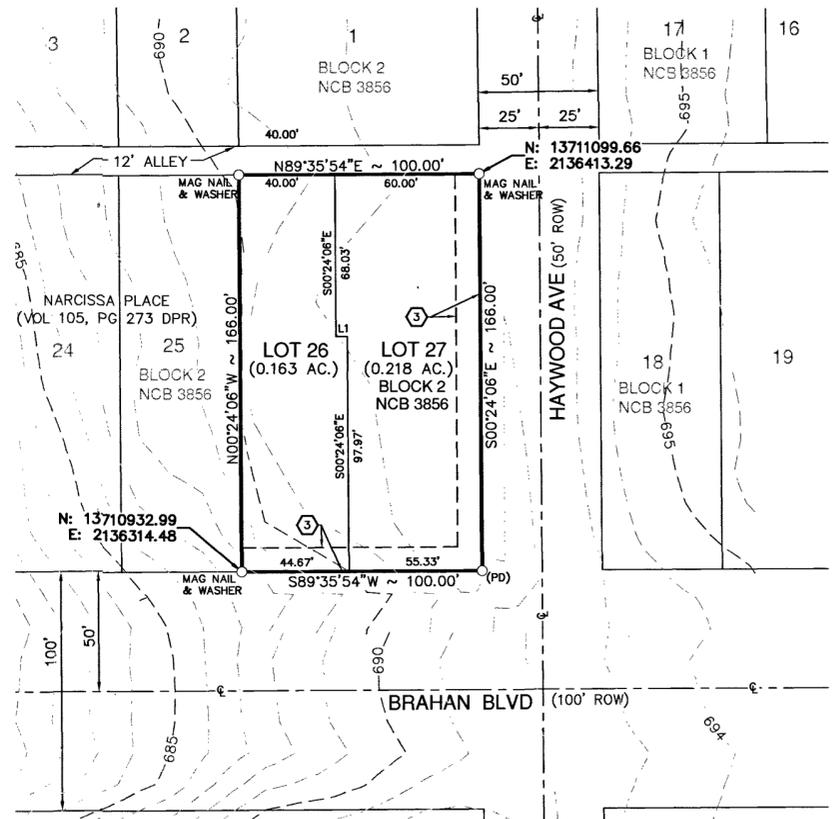
**MAINTENANCE NOTE:**

THE MAINTENANCE OF ALL DRAINAGE EASEMENTS, ACCESS EASEMENTS, GREENBELTS, AND OPEN PERMEABLE SPACES SHOWN HEREON SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOMEOWNERS' ASSOCIATION AND THEIR SUCCESSORS OR ASSIGNEES AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEXAR COUNTY.

**FIRE FLOW NOTE:**

IN AN EFFORT TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE PROPOSED RESIDENTIAL DEVELOPMENT, THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1750 GPM AT 25 PSI RESIDUAL PRESSURE. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED DURING THE BUILDING PERMIT PROCESS IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

LINE #	BEARING	LENGTH
L1	N89°35'54"E	4.67'



STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

*John Linton*  
OWNER/DEVELOPER: CLEARVIEW PARTNERS II LLC  
JOHN LINTON  
2602 WINDING VIEW LANE  
SAN ANTONIO, TEXAS 78260

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN LINTON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26<sup>th</sup> DAY OF January, A.D. 2017.

*Nancy E. Willaford*  
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF 255 BRAHAN HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES, IS HEREBY APPROVED IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) HAVE BEEN GRANTED. DATED THIS 17 DAY OF January, A.D. 2017.

BY: *William Lang*  
DIRECTOR OF DEVELOPMENT SERVICES

STATE OF TEXAS  
COUNTY OF BEXAR

I, **BERNARD RILLHOFF**, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE 24<sup>TH</sup> DAY OF FEBRUARY, A.D. 2017 AT 9:41 A.M. AND DULY RECORDED THE 24<sup>TH</sup> DAY OF FEBRUARY, A.D. 2017 AT 9:41 A.M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME 9712 ON PAGE 156 IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS 24<sup>TH</sup> DAY OF FEBRUARY, A.D. 2017.

COUNTY CLERK, BEXAR COUNTY, TEXAS

SHEET 1 OF 1

BY: *Mark...* DEPUTY

RECORDER'S MEMORANDUM  
AT THE TIME OF RECORDATION, THIS INSTRUMENT WAS FOUND TO BE INADEQUATE FOR THE BEST PHOTOGRAPHIC REPRODUCTION BECAUSE OF ILLUMINATION, CARBON OR PHOTO COPY, DISCOLORED PAPER ETC.

Doc# 20170034761, Fees: \$82.00  
Filed & Recorded in the Office of Public Records of BEXAR COUNTY, GERRARD C. RICKHOFF COUNTY CLERK

Book 9712 Page 156 3pgs  
P12-20170034761-3



DATE: 1/23/2017 12:08 PM USER: b.bernard  
FILE: V:\11127-00\Survey\Civil\Plat\11127000.dwg

TAX CERTIFICATE

PK #170135



ALBERT URESTI, MPA, PCC  
BEXAR COUNTY TAX ASSESSOR-COLLECTOR 17 FEB - 7 11:02  
P O BOX 839950  
SAN ANTONIO, TX 78283-3950

**Issued To:**  
PAPE-DAWSON ENGINEERS  
2000 NW LOOP 410  
SAN ANTONIO, TX 78213

**Legal Description**  
NCB 3856 BLK 2 LOT 26 AND 27

**Fiduciary Number:** 1239415

**Parcel Address:** 255 BRAHAN BLVD  
**Legal Acres:** .3811

**Account Number:** 03856-002-0260

**Print Date:** 02/02/2017

**Certificate No:** 10876168

**Paid Date:**

**Certificate Fee:** \$10.00

**Issue Date:** 02/02/2017

**Operator ID:** LHER

TAX CERTIFICATES ARE ISSUED WITH THE MOST CURRENT INFORMATION AVAILABLE. ALL ACCOUNTS ARE SUBJECT TO CHANGE PER SECTION 26.15 OF THE TEXAS PROPERTY TAX CODE. THIS IS TO CERTIFY THAT ALL TAXES DUE ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN EXAMINED, UP TO AND INCLUDING THE YEAR 2016. ALL TAXES ARE PAID IN FULL

Exemptions:

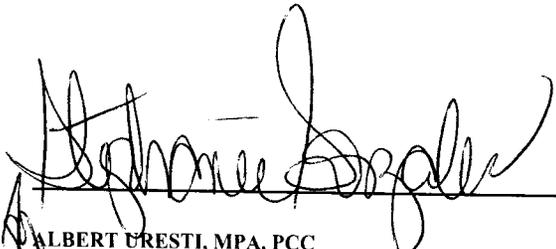
Certified Owner:

CLEARVIEW PARTNERS II LLC  
2602 WINDING VW  
SAN ANTONIO, TX 78260-7258

<b>2016 Value:</b>	361,010
<b>2016 Levy:</b>	\$10,199.50
<b>2016 Levy Balance:</b>	\$0.00
<b>Prior Year Levy Balance:</b>	\$0.00
<b>Total Levy Due:</b>	\$0.00
<b>P&amp;I + Attorney Fee:</b>	\$0.00
<b>Total Amount Due:</b>	\$0.00

Certified Tax Unit(s):

- 8 FLOOD FUND
- 9 ALAMO COMM COLLEGE
- 10 HOSPITAL DISTRICT
- 11 BEXAR COUNTY
- 19 S A RIVER AUTHORITY
- 21 CITY / SAN ANTONIO
- 57 SAN ANTONIO ISD

  
ALBERT URESTI, MPA, PCC  
BEXAR COUNTY TAX ASSESSOR-COLLECTOR

20170034761



Reference (GF) No: N/A

Any provision herein which restricts the sale, or use of the described real property because of race is invalid and unenforceable under Federal law STATE OF TEXAS, COUNTY OF BEXAR

I hereby Certify that this instrument was FILED in File Number Sequence on this date and at the time stamped hereon by me and was duly RECORDED in the Official Public Record of Real Property of Bexar County, Texas on:

FEB 24 2017

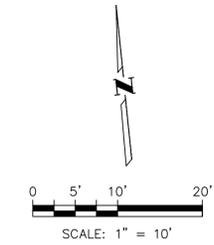
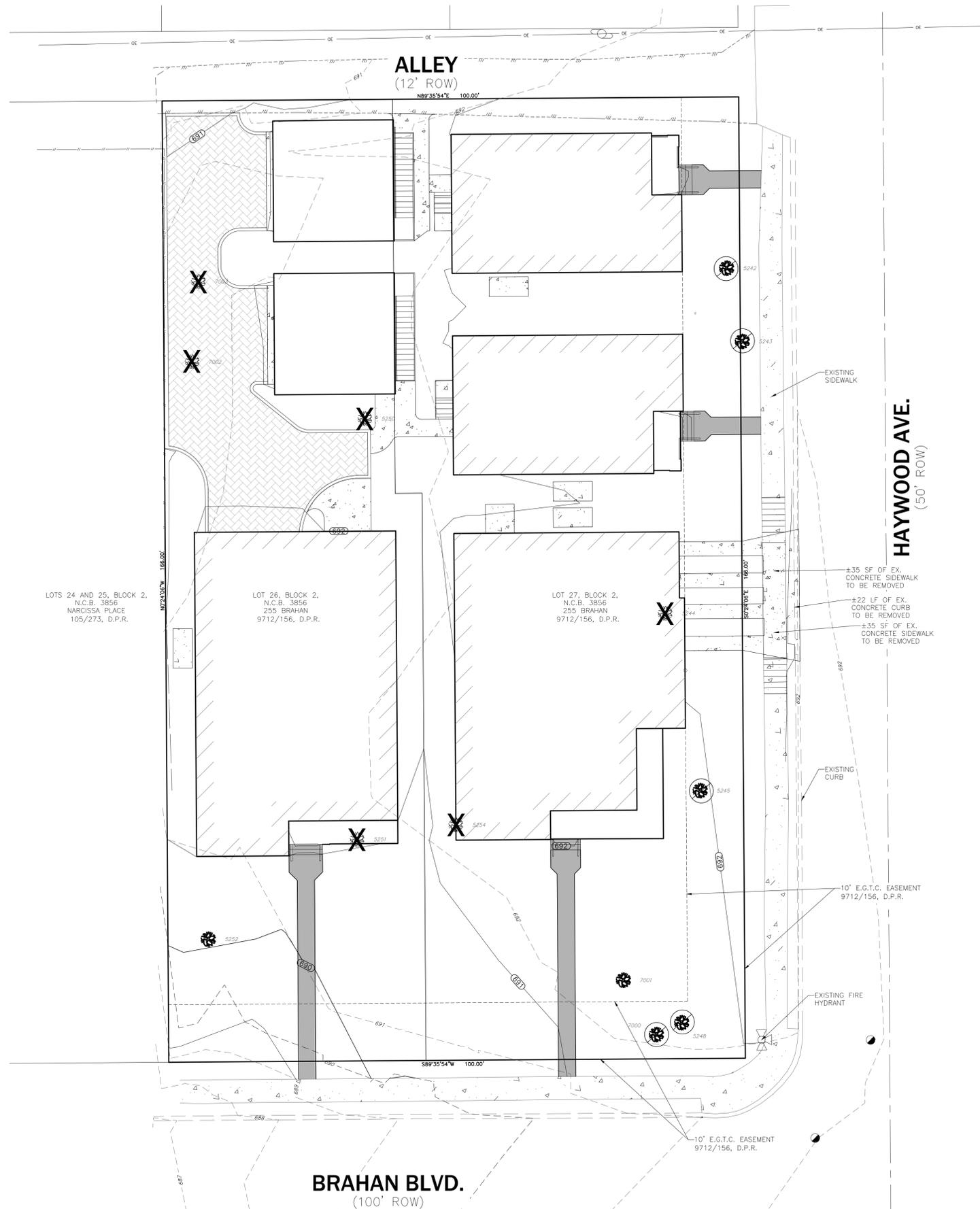


*Gerard C. Rickhoff*  
COUNTY CLERK BEXAR COUNTY, TEXAS

Doc# 20170034761 Fees: \$82.00  
02/24/2017 9:41AM # Pages 3  
Filed & Recorded in the Official  
Public Records of BEXAR COUNTY  
GERARD C. RICKHOFF COUNTY CLERK

**LEGAL DESCRIPTION:**

LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215



**LEGEND**

- TREE TO BE PLANTED (REF. APPENDIX E)
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE EXEMPT FROM CALCULATIONS DUE TO BEING LOCATED IN R.O.W. OR EASEMENT

TREE LIST		
POINT NO.	SIZE & SPECIES	ACTION
5242	27" PECAN	TO REMAIN
5243	11" HACKBERRY	TO REMAIN
5244	16" PECAN	TO BE REMOVED
5245	22" PECAN	TO REMAIN
5246	19" BALD-CYPRES	DEAD
5250	19" PECAN	TO BE REMOVED
5251	9" PALM	IN-DECLINE
5252	18" PALM	TO REMAIN
5254	10" PALM	IN-DECLINE
7000	12" ANAGUA	TO REMAIN
7001	7" ANACUA	TO REMAIN
7002	9" PECAN	TO BE REMOVED
7003	10" PECAN	TO BE REMOVED

NOTE:  
TREES ON LIST WITH A LINE THROUGH THEM WERE SURVEYED, BUT ARE EITHER NOT ON PROPERTY, WITHIN THE RIGHT OF WAY/EASEMENT, IN DECLINE OR EXEMPT SPECIES. THESE TREE ARE NOT INCLUDED WITHIN OUR TREE PRESERVATION CALCULATIONS.

**TREE CANOPY CALCULATION**

TOTAL SITE.....16601 SF (0.3811 AC)  
REQUIRED CANOPY (15%).....2490 SF  
EXISTING CANOPY TO REMAIN.....1150 SF  
REQUIRED CANOPY TO BE PLANTED.....1340 SF  
TOTAL CANOPY (EXISTING+PROPOSED).....6,460 SF (39%)

TOTAL PROPOSED CANOPY TO BE PLANTED.....5310 SF  
CANOPY TO BE PLANTED (NO ENERGY CREDIT) -  
2 TREES X 2 LOTS X (875 SF X 0.9) = 3150 SF  
1 TREES X 2 LOTS X (1200 SF X 0.9) = 2160 SF

A TOTAL OF 4 - 1.5" CALIPER MEDIUM SPECIES AND 2 - 1.5" CALIPER LARGE SPECIES TREES TO BE PLANTED  
(2 - 1.5" CALIPER MEDIUM SPECIES TREES (875 SF) AND 1 - 1.5" CALIPER LARGE SPECIES TREE (1200 SF) SHALL BE PLANTED ON EACH LOT)

**PRESERVATION CALCULATIONS**

**SIGNIFICANT TREES**  
TOTAL INCHES.....79 INCHES  
INCHES REMOVED.....54 INCHES  
INCHES PRESERVED.....25 INCHES  
TOTAL PERCENTAGE PRESERVED.....32 %  
TOTAL REQUIRED 40% PRESERVATION FOR MULTIFAMILY.....32 INCHES  
REMAINING INCHES TO MITIGATE.....7 INCHES

**HERITAGE TREES**  
TOTAL INCHES.....0 INCHES  
INCHES REMOVED.....0 INCHES  
INCHES PRESERVED.....0 INCHES  
TOTAL PERCENTAGE PRESERVED.....0 %  
TOTAL REQUIRED 40% PRESERVATION FOR MULTIFAMILY.....0 INCHES  
REMAINING INCHES TO MITIGATE.....0 INCHES

TOTAL INCHES TO MITIGATE.....8 INCHES  
TOTAL INCHES TO BE PLANTED.....9 INCHES  
6 TREES X 1.5 INCHES = 9 INCHES

**NOTES**

- ZONING DESIGNATION - RM-4
- SITE IS LOCATED WITHIN THE C.R.A.G.
- EACH LOT WILL BE REQUIRED TO PLANT 2 MEDIUM SPECIES TREES (SHADE VALUE 875) AND 1 LARGE SPECIES TREE (SHADE VALUE OF 1200) MIN CALIPER 1.5 INCHES
- TREES SHALL COMPLY WITH APPENDIX E OF THE CITY OF SAN ANTONIO UDC. NO MORE THAN 25% OF THE REPLACEMENT TREES SHALL BE OF THE SAME SPECIES FOR THE PURPOSE OF MITIGATION.
- ALL TREES SHALL BE WATERED FOR A MINIMUM OF THREE YEARS TO ENSURE TREE ESTABLISHMENT

**UP ENGINEERING + SURVEYING**  
11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5604  
WWW.UPENGINEERING.COM TFBELS F-10194606



**ARCHITECTURA SA, INC.**  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD  
TREE PRESERVATION PLAN  
COM-PRJ-APP22-39801107

REV	DATE	DESCRIPTION	BY

DESIGNED BY: WPF  
DRAFTED BY: JWH  
CHECKED BY: NFU

Date: July 02, 2022, 11:59am, User: G. Dyer, Title: Surveyor, Project: 255 BRAHAN BOULEVARD (ROAD) (Sheet) TREE PRESERVATION PLAN.dwg

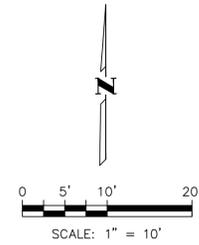
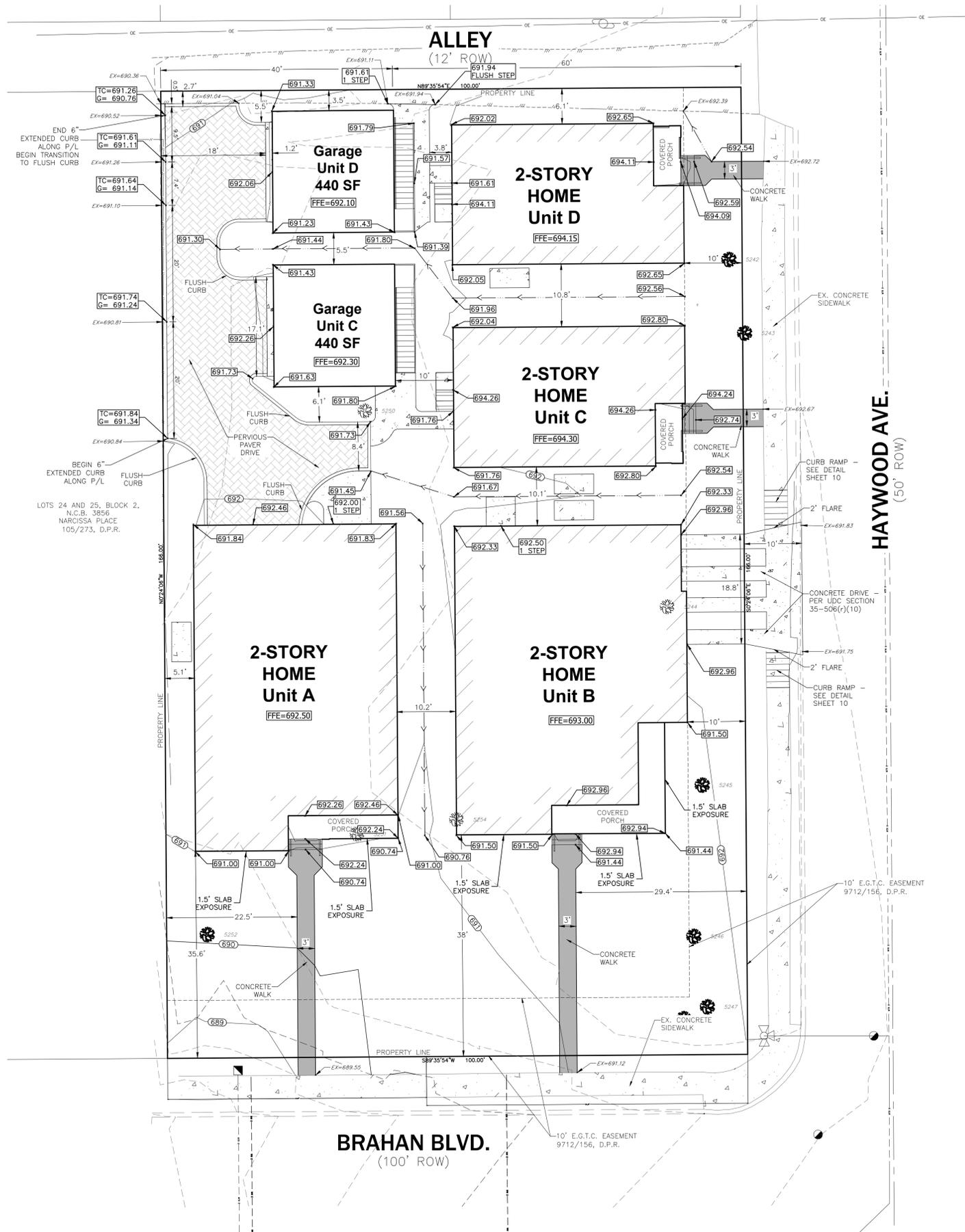
**LEGAL DESCRIPTION:**

LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215

LINE	BEARING	LENGTH
L1	N89°35'54"E	4.67'

**TRAFFIC SUMMARY TABLE**

SITE USE	
DWELLING-1 FAMILY	4 UNITS
<b>PARKING STORAGE STANDARDS</b>	
MINIMUM PARKING RATIO	1 PER UNIT
MAXIMUM PARKING RATIO	N/A
<b>REGULAR</b>	
MINIMUM REQUIRED PARKING	4
MAXIMUM PARKING ALLOWED	N/A
ACTUAL/PROPOSED PARKING	8



**LEGEND**

- BOUNDARY / RIGHT OF WAY LINE
- CONCRETE CURB
- EASEMENT / SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- OVERHEAD UTILITIES
- SWALE CENTERLINE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- TOP OF WALL
- BOTTOM OF WALL
- FLOW DIRECTION
- TREE TO BE SAVED

\*REFER TO PLANS FROM JCG HOMES, LLC, FOR FINISHED FLOOR ELEVATIONS OF BUILDINGS AND INTERIORS. UP ENGINEERING IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN FINISHED FLOOR ELEVATIONS AND THOSE ON THIS GRADING PLAN. CONTRACTOR TO CONFIRM ALL ELEVATIONS WITH BUILDER PRIOR TO CONSTRUCTION OF HOMES.

**NOTES:**

- REFERENCE STRUCTURAL PLANS FOR FOUNDATIONS.
- PER UDC SECTION 35-506(a)(1)(C)(2), EXISTING SIDEWALKS AND CURBS SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS.
- REFERENCE HOMEBUILDER PLANS FOR DRIVEWAY AND LANDSCAPING PLANS, DETAILS AND CONSTRUCTION.
- ALL SPOT ELEVATIONS REFER TO ELEVATIONS OUTSIDE OF THE BUILDING OR AT DOOR THRESHOLD. THE FINISHED FLOOR ELEVATION SHOWN IS THE ONLY ELEVATION SHOWN FOR THE INSIDE OF THE BUILDING.
- CURB RAMPS SHALL BE BROOM FINISHED, SCORING OR GROOVES SHALL NOT BE PERMITTED.
- PER UDC SECTION 35-526(c)(1), ALL PARKING AREAS SHALL BE PROPERLY GRADED FOR DRAINAGE, SURFACED WITH CONCRETE, ASPHALTIC CONCRETE OR ASPHALT AND MAINTAINED IN GOOD CONDITION.



ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD  
SITE DIMENSION AND  
GRADING PLAN

REV	DATE	REVISION PER PERMIT COMMENTS	DESCRIPTION
1	4/20/22		

DESIGNED BY: WPF  
DRAFTED BY: JWH  
CHECKED BY: NFU

SHEET  
4  
OF 10

Drawn: 4/20/22, 10:23 AM, 2022. User: JWH. Project: 255 BRAHAN BOULEVARD. Project Path: C:\Users\JWH\OneDrive\Documents\255 BRAHAN BOULEVARD\255 BRAHAN BOULEVARD.dwg















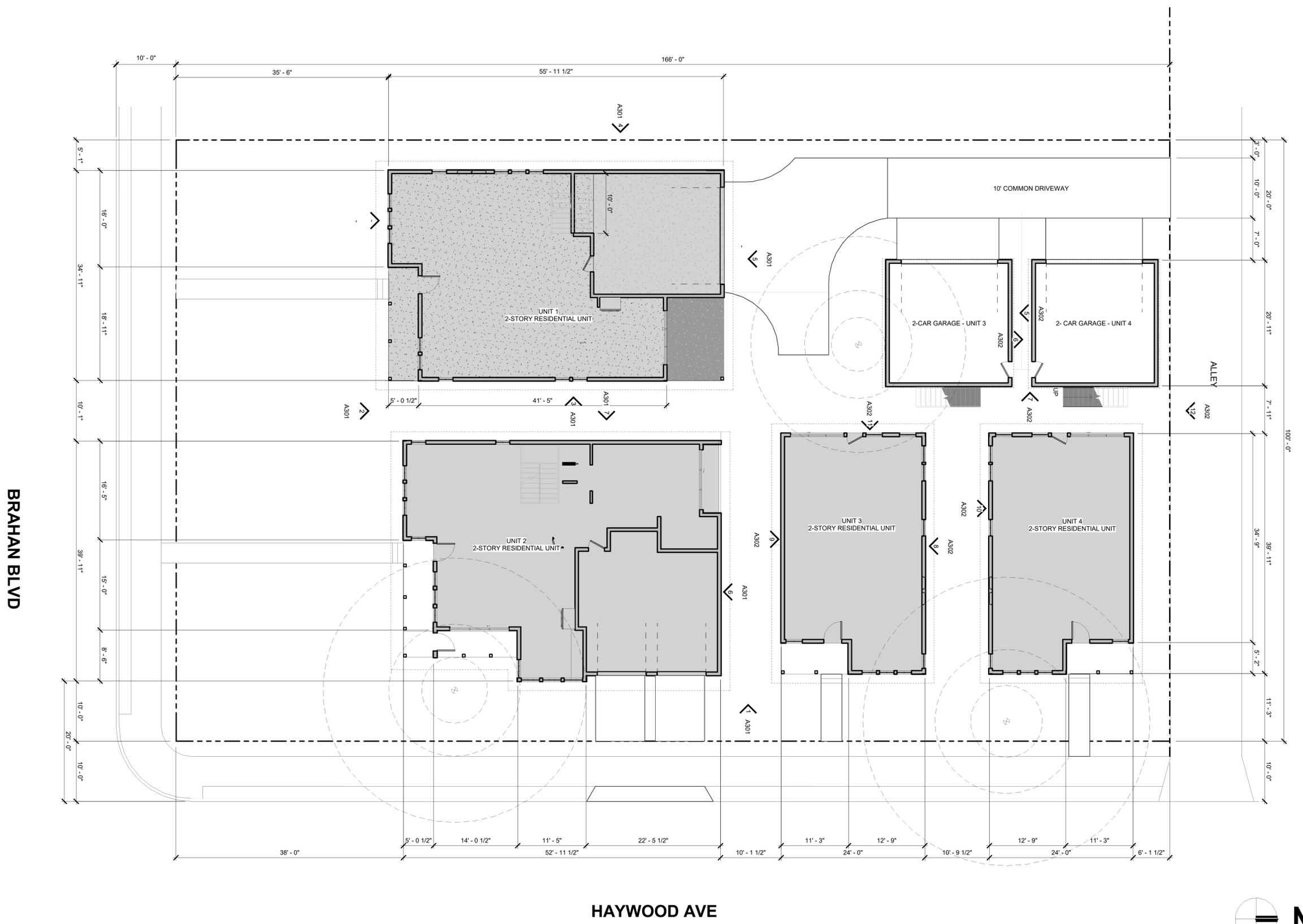






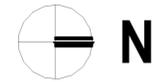


PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



BRAHAN BLVD

HAYWOOD AVE



CONCEPTUAL SITE PLAN

1/8" = 1' - 0"

ARCHADIA DESIGN

PROJECT TITLE

1144 SALINA STREET  
 AUSTIN, TX 78702  
 TEL: 423.298.2224

**WEST FORT HOMES**  
 255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

SEAL

PROJECT NUMBER:  
**AD 1720**  
 PHASE:  
**HDRC**  
 DATE:  
**3/19/21**

REVISIONS:

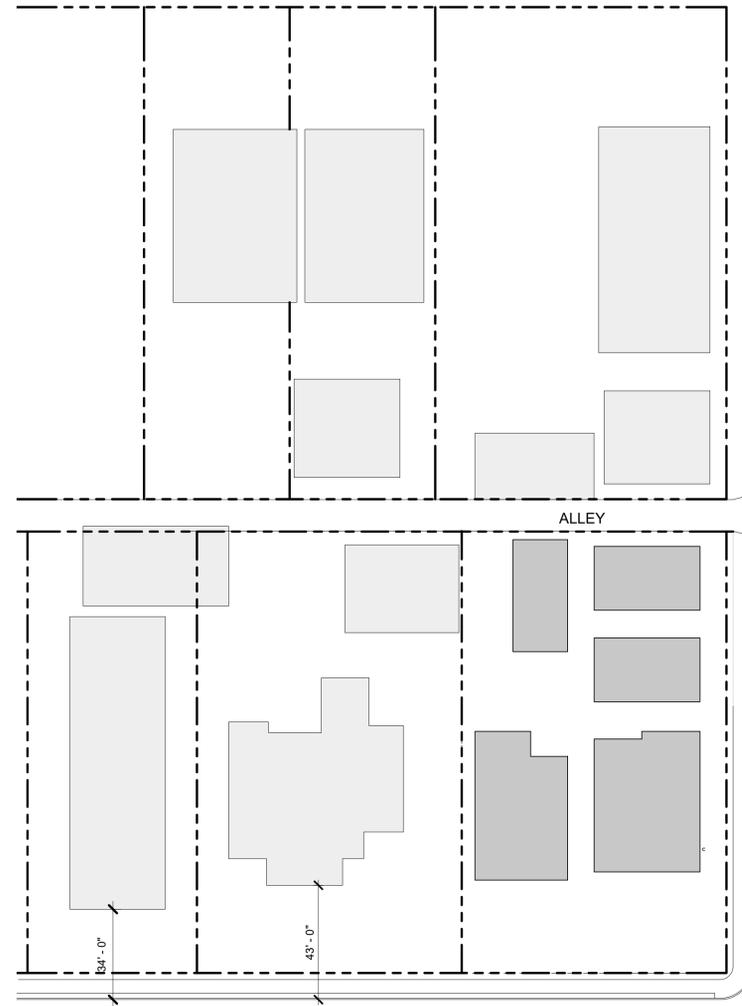

SHEET INFORMATION

**A100**

DRAWING TITLE:  
**CONCEPTUAL SITE PLAN**

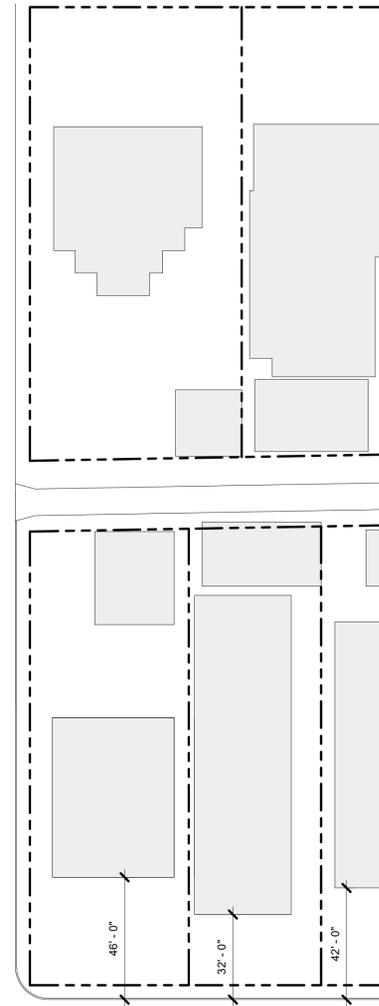
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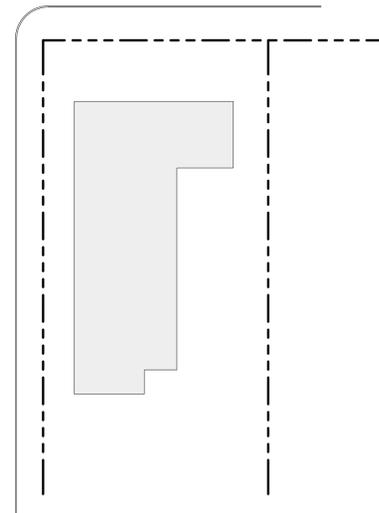
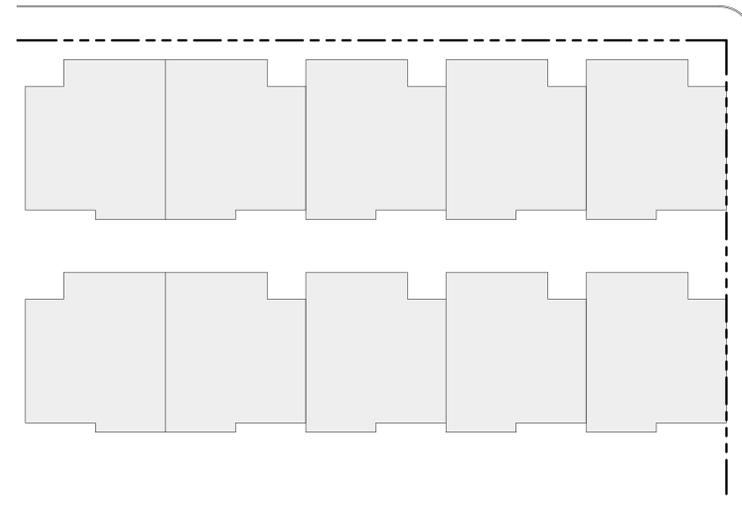


ALLEY

HAYWOOD AVE



BRAHAN BLVD



100 - Site Plan NEIGHBORHOOD  
1/32" = 1'-0"

ARCHADIA DESIGN

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AUSTIN, TX 78702  
TEL: 423.298.2224

PROJECT TITLE

**WEST FORT HOMES**  
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**3/19/21**

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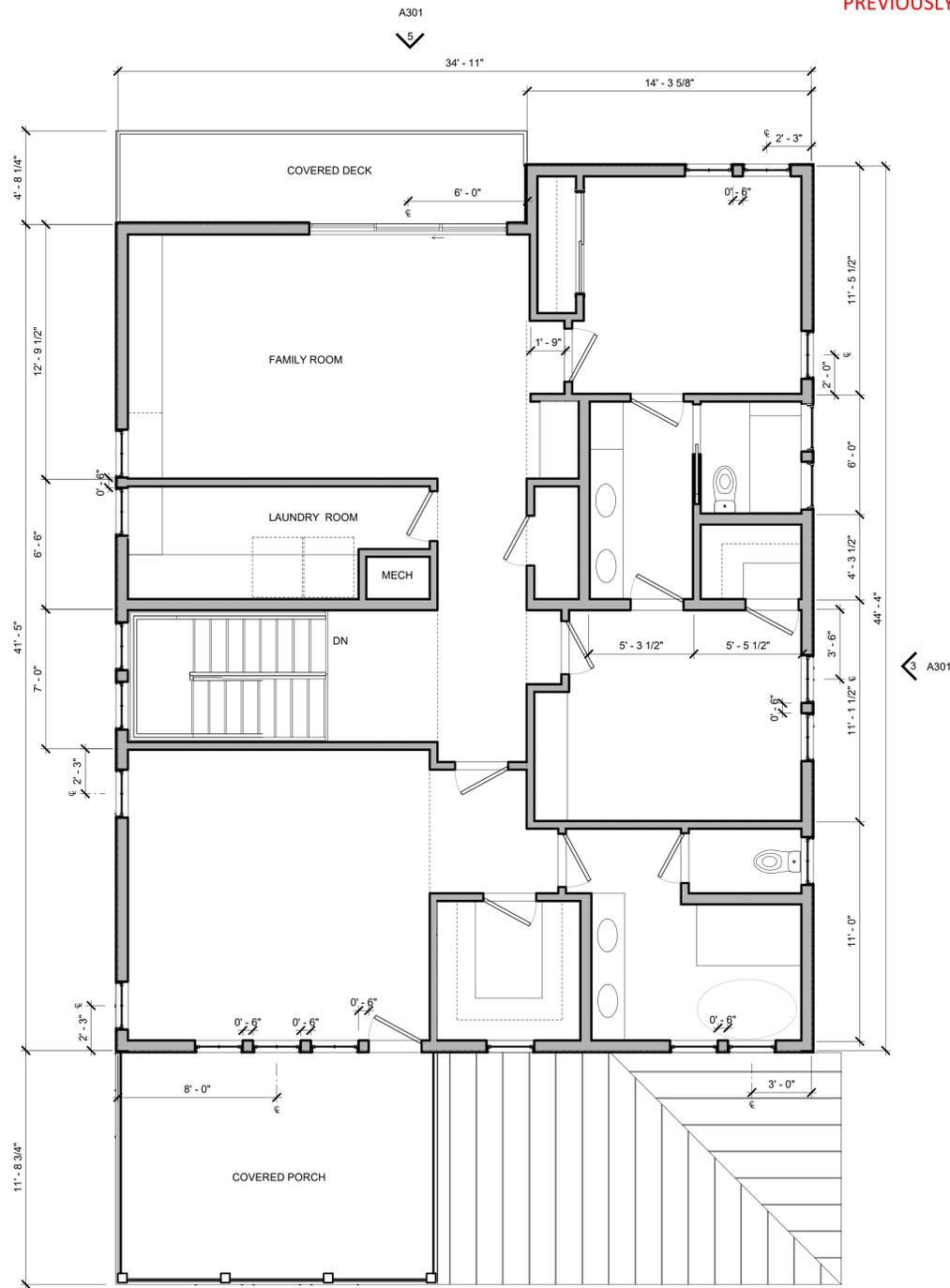

SHEET INFORMATION

**A101**

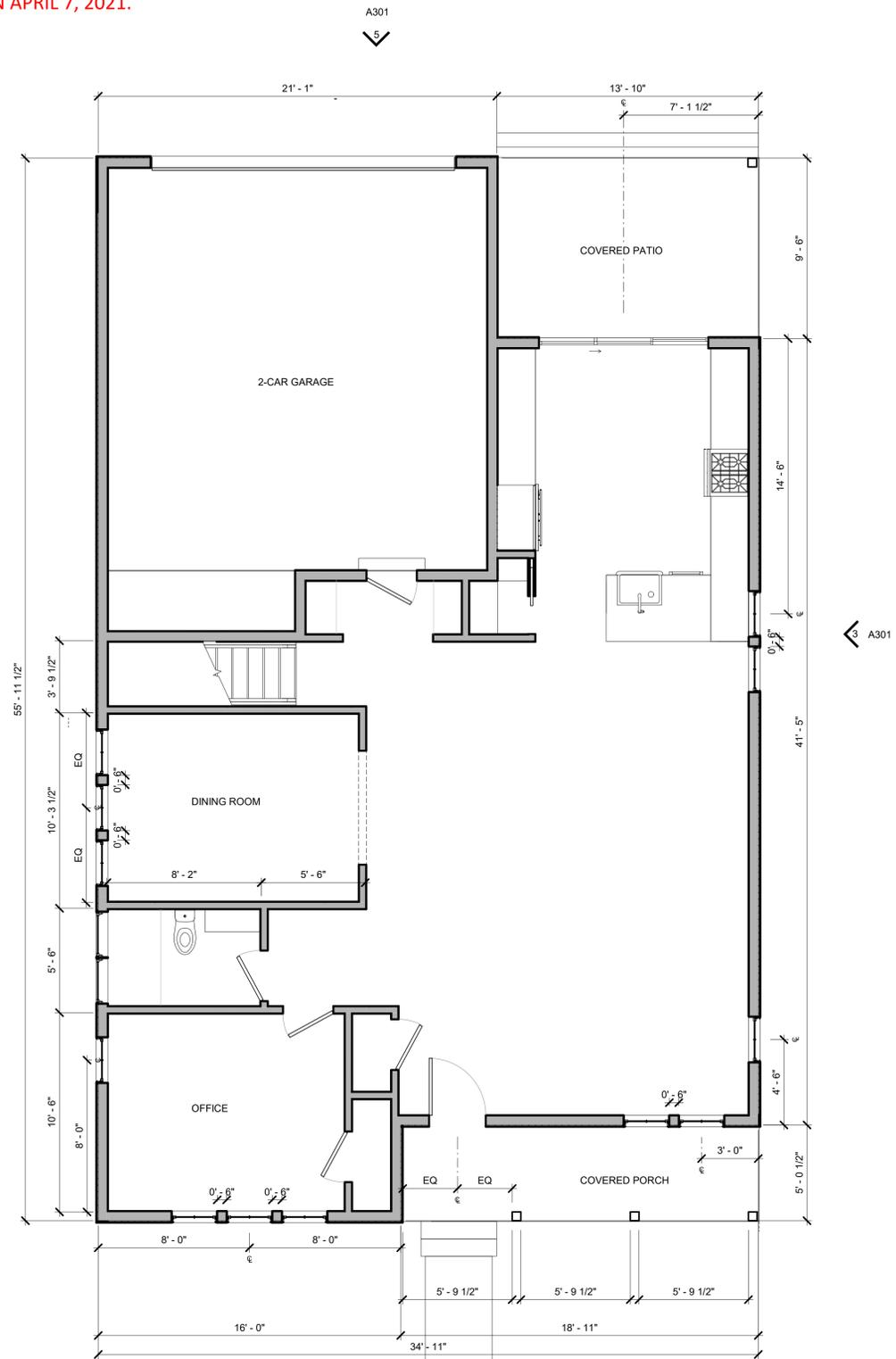
DRAWING TITLE:

**NEIGHBORHOOD  
PLAN**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



② UNIT A - 2F  
1/4" = 1'-0"



① UNIT A - 1F  
1/4" = 1'-0"

ARCHADIA DESIGN

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AUSTIN, TX 78702  
TEL: 423.298.2224

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**3/19/21**

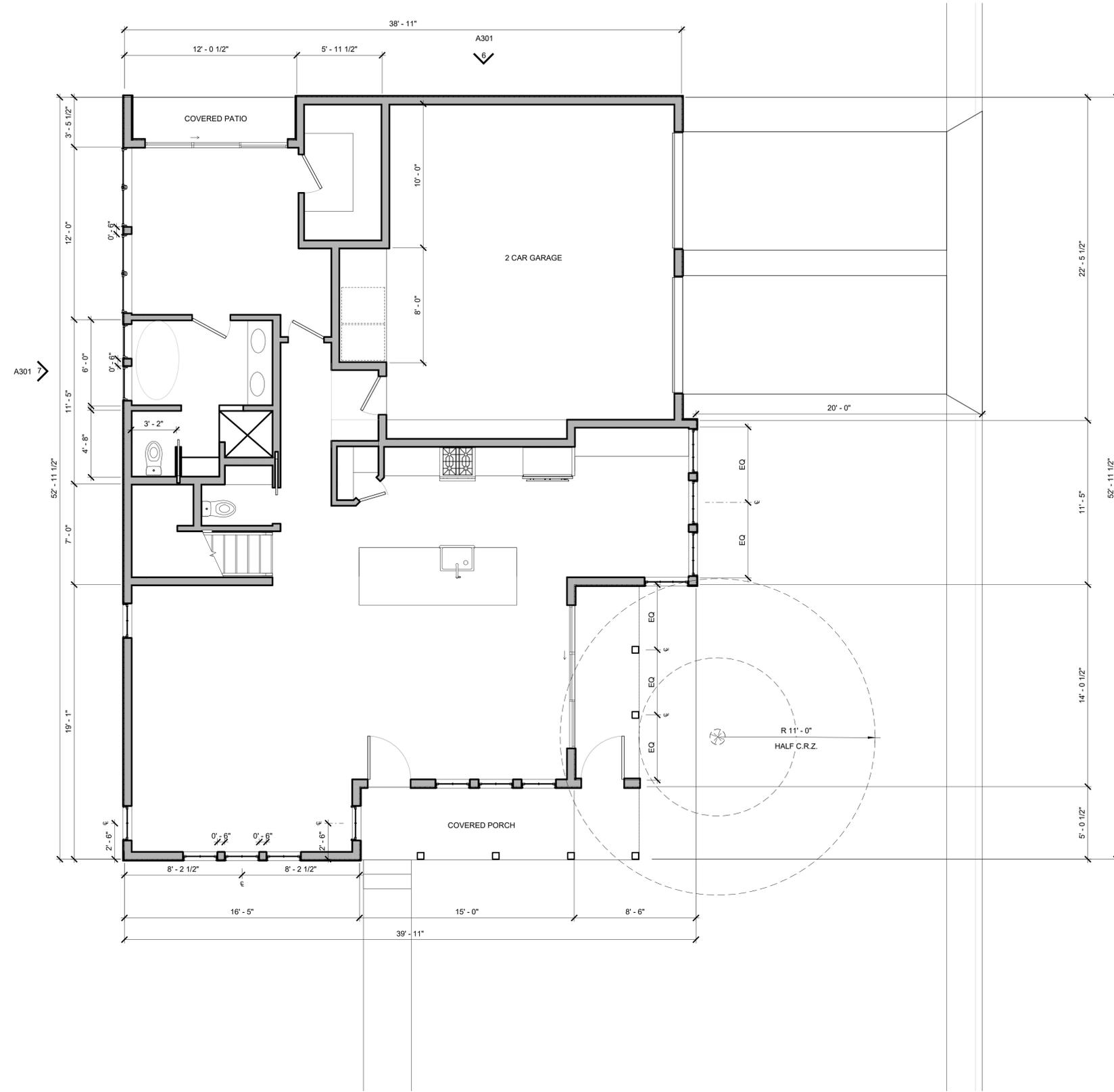
REVISIONS:

SHEET INFORMATION

**A111**

DRAWING TITLE:  
**UNIT A FLOOR PLANS**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



① UNIT B - 1F  
1/4" = 1'-0"

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**3/19/21**

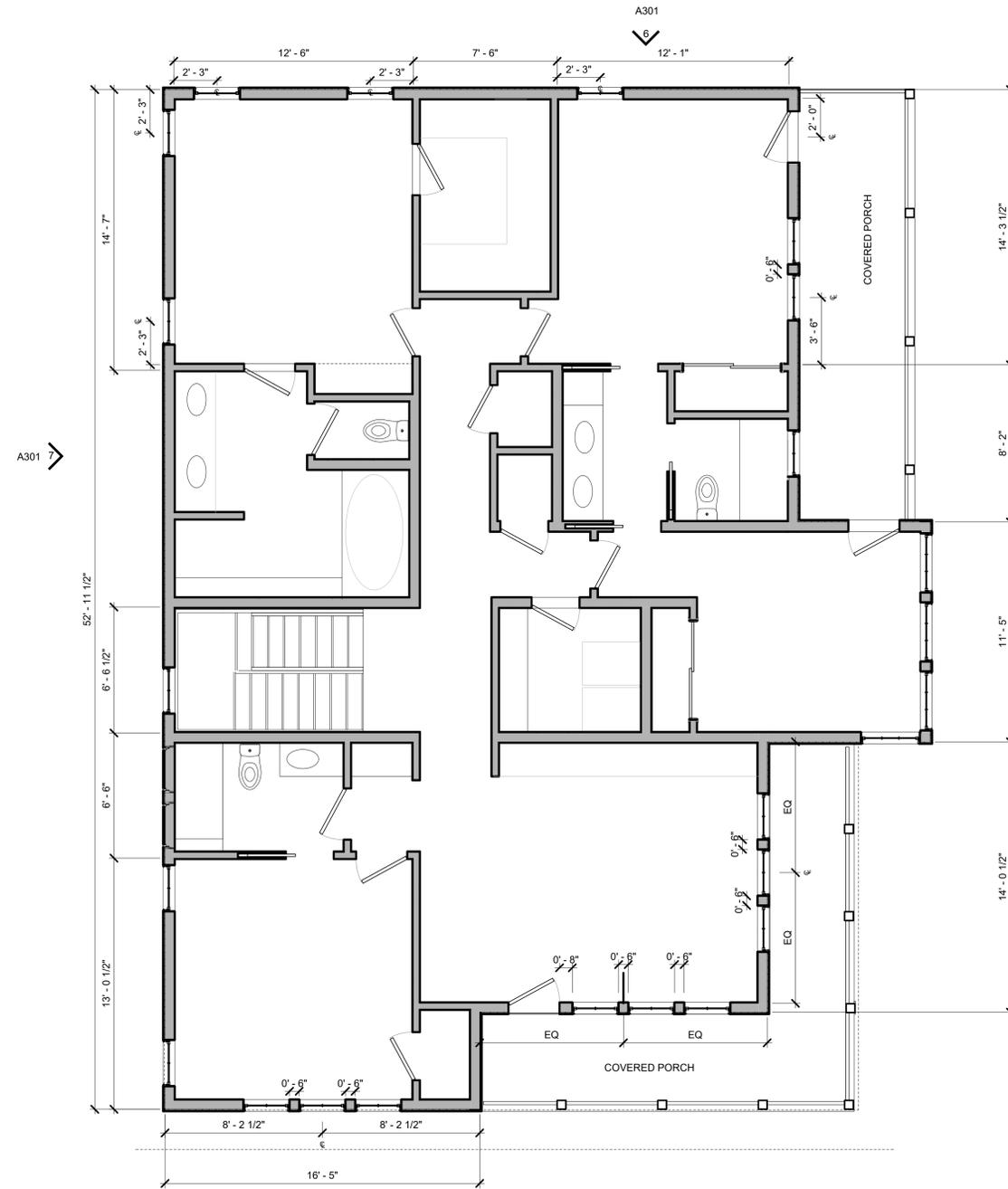
REVISIONS:


SHEET INFORMATION

**A121**

DRAWING TITLE:  
**UNIT B - GF**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



① UNIT B - 2F  
1/4" = 1'-0"

ARCHADIA DESIGN

1144 SALINA STREET  
AUSTIN, TX 78702  
TEL: 423.298.2224

PROJECT TITLE

**WEST FORT HOMES**  
255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

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**3/19/21**

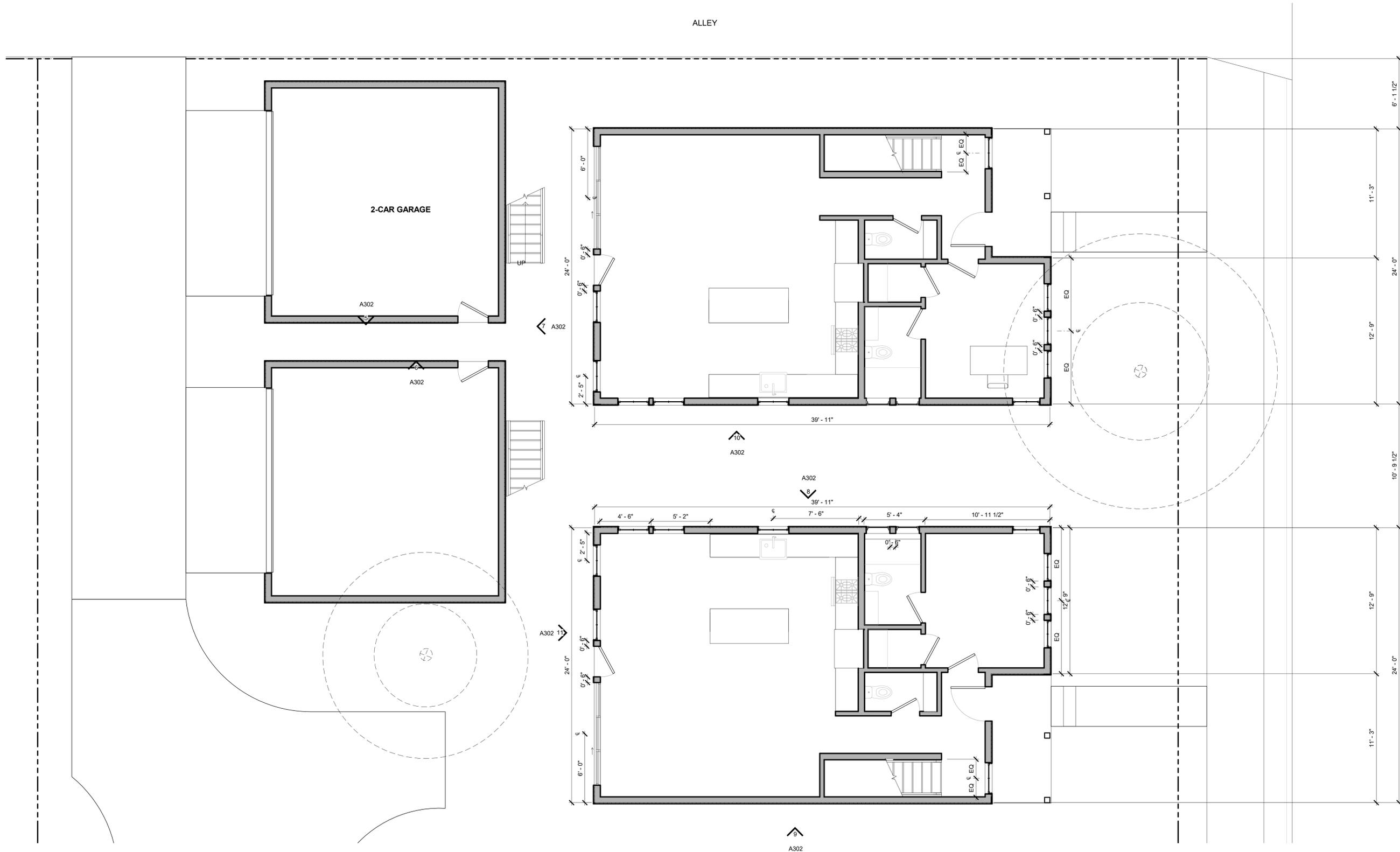
REVISIONS:


SHEET INFORMATION

**A122**

DRAWING TITLE:  
**UNIT B - 2F**

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PHASE:  
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DATE:  
**3/19/21**

REVISIONS:

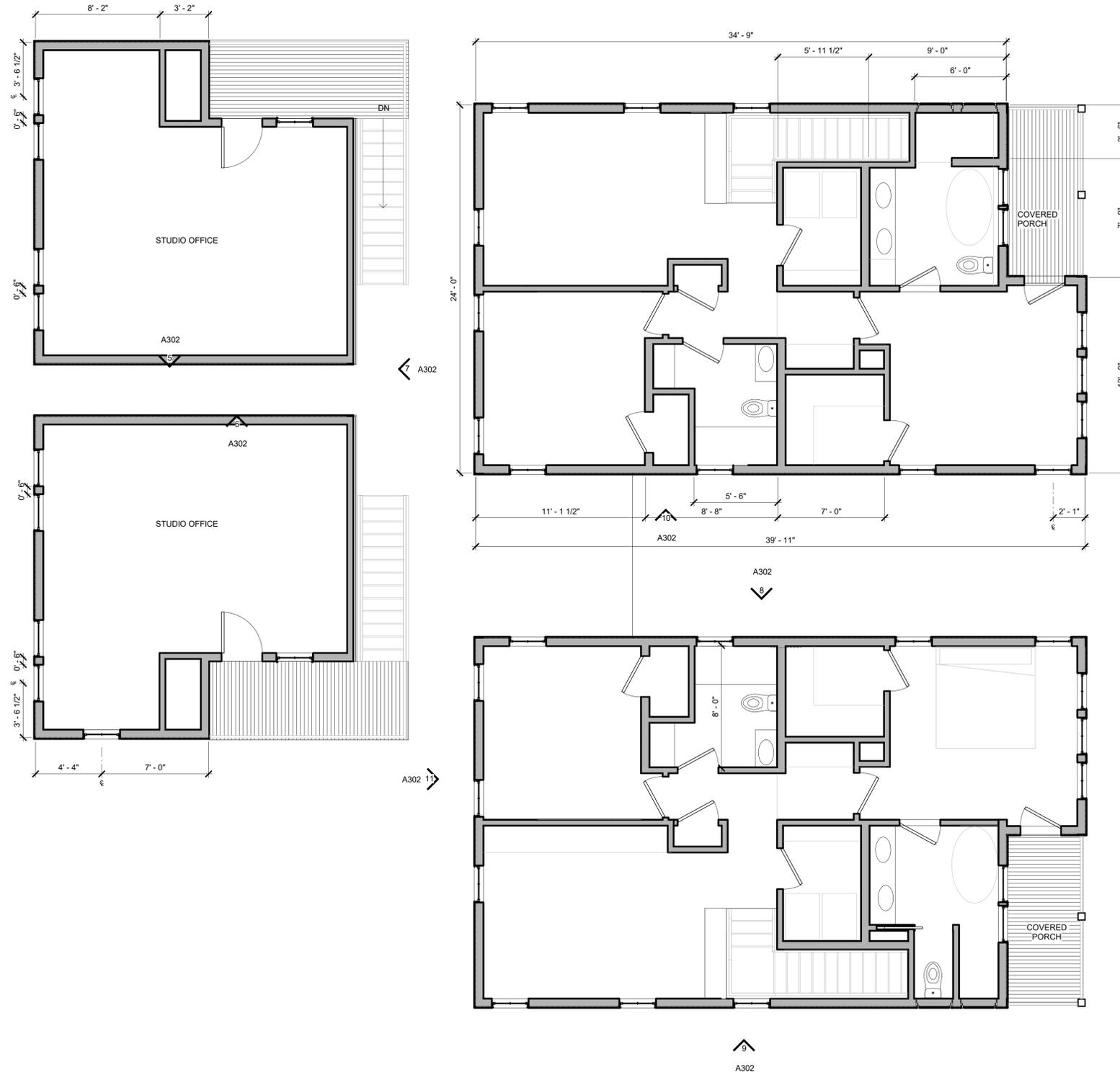
NO.	DATE	DESCRIPTION

SHEET INFORMATION

**A131**

DRAWING TITLE:  
**UNITS C,D  
GROUND FLOOR**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



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PROJECT TITLE

SEAL

PROJECT NUMBER:  
**AD 1720**  
PHASE:  
**HDRC**  
DATE:  
**3/19/21**

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHEET INFORMATION

**A132**

DRAWING TITLE:  
**2F PLAN - HAYWOOD**

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3 UNIT A - EAST  
1/8" = 1'-0"



4 West  
1/8" = 1'-0"



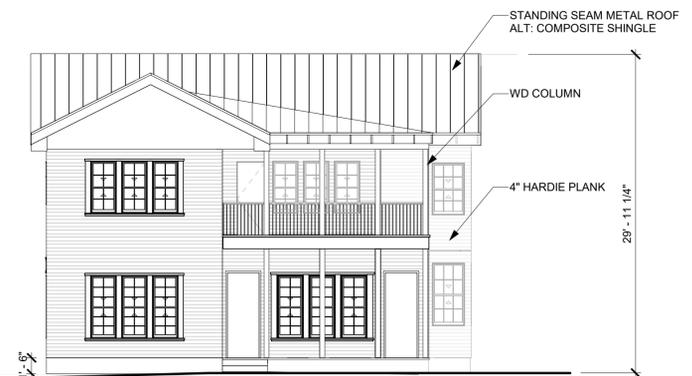
5 UNIT A - NORTH  
1/8" = 1'-0"



7 UNIT B - WEST  
1/8" = 1'-0"



2 South  
1/8" = 1'-0"



6 UNIT B - NORTH  
1/8" = 1'-0"



1 East  
1/8" = 1'-0"

ARCHADIA DESIGN

1144 SALINA STREET  
AUSTIN, TX 78702  
TEL: 423.298.2224

PROJECT TITLE  
**WEST FORT HOMES**  
255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

PROJECT TITLE

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PROJECT NUMBER:  
**AD 1720**  
PHASE:  
**HDRC**  
DATE:  
**3/19/21**

REVISIONS:

SHEET INFORMATION

**A301**

DRAWING TITLE:  
**ELEVATIONS**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.

SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD  
4" HARDIE PLANK



9 UNIT C - SOUTH  
1/8" = 1'-0"

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

SS METAL ROOF  
-ALT: COMP. SHINGLES

4" HARDIE PLANK



12 North  
1/8" = 1'-0"

SS METAL ROOF  
-ALT: COMP. SHINGLES

4" HARDIE PLANK

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD



8 UNIT C - NORTH  
1/8" = 1'-0"

SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

4" HARDIE PLANK



10 UNIT D - SOUTH  
1/8" = 1'-0"

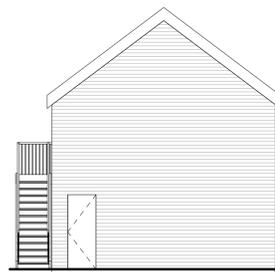
SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

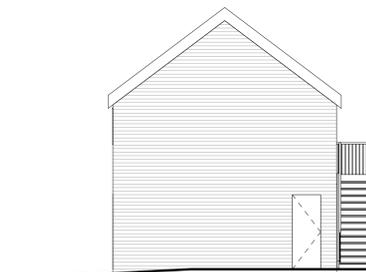
4" HARDIE PLANK



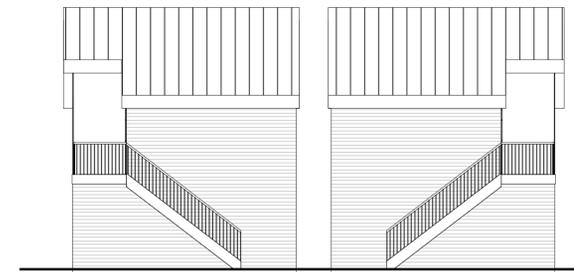
11 UNITS C,D WEST  
1/8" = 1'-0"



5 GARAGE C - NORTH  
1/8" = 1'-0"



6 GARAGE D - SOUTH  
1/8" = 1'-0"



7 GARAGES C,D - EAST  
1/8" = 1'-0"

ARCHADIA DESIGN

1144 SALINA STREET  
AUSTIN, TX 78702  
TEL: 423.298.2224

WEST FORT HOMES  
255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

PROJECT TITLE

SEAL

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PROJECT NUMBER:

AD 1720

PHASE:

HDRC

DATE:

3/19/21

REVISIONS:


SHEET INFORMATION

A302

DRAWING TITLE:

ELEVATIONS